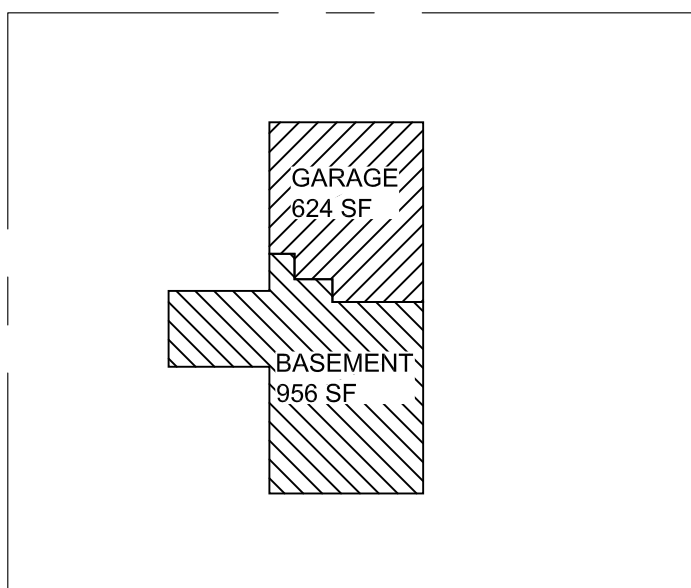


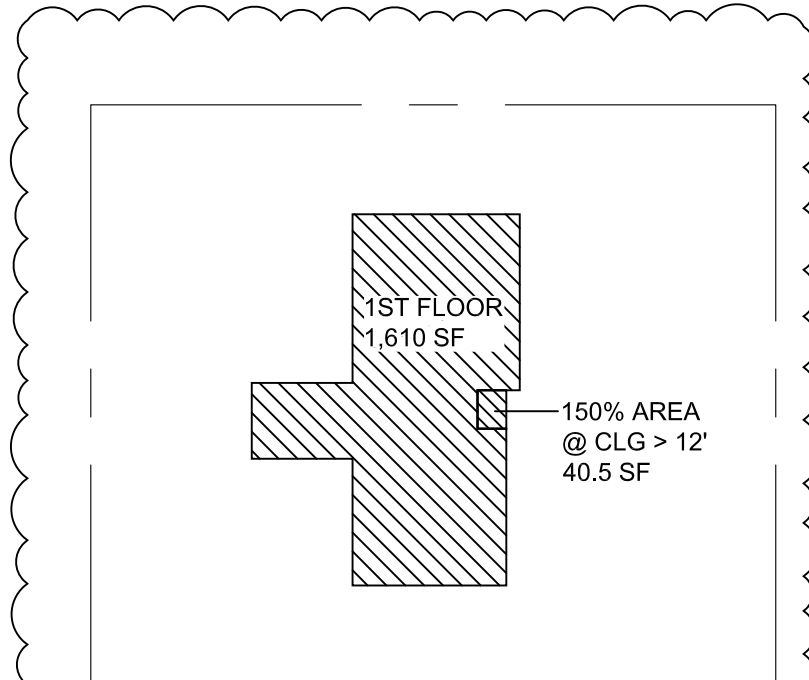
EXTERIOR ADDITION HAS BEEN ELIMINATED FROM THE SCOPE OF WORK. LOT COVERAGE AND HARDSCAPE CALCULATIONS NOT REQUIRED.

GROSS FLOOR AREA:

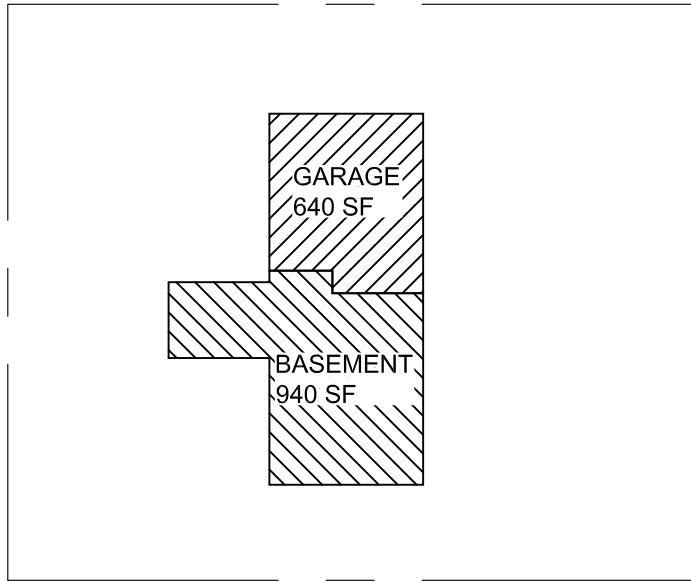
EXISTING BASEMENT



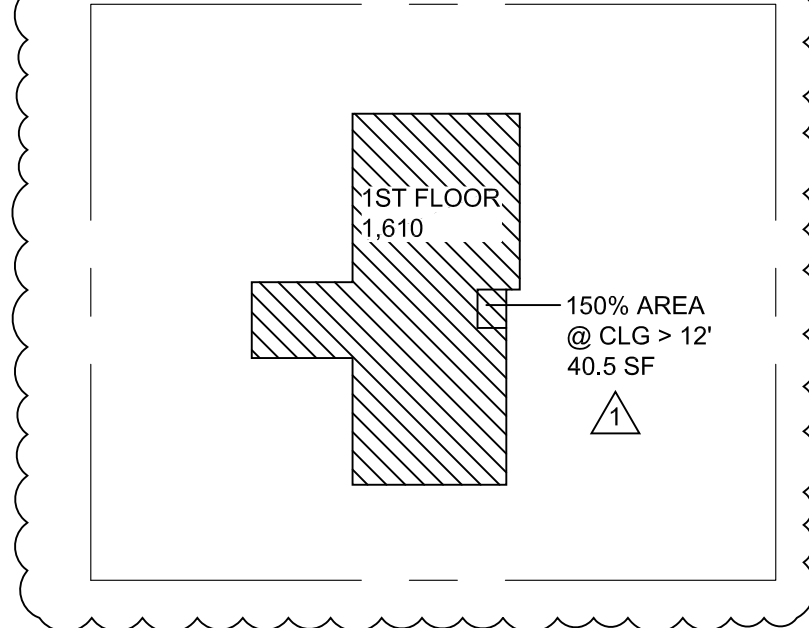
EXISTING 1ST FLOOR



NEW BASEMENT



NEW 1ST FLOOR



ABBREVIATIONS:

ACH	Air Changes per Hour
ADJ	Adjacent
ADU	Accessory Dwelling Unit
BD	Board
BM	Beam
BOT	Bottom
BTWN	Between
CANT	Cantilever
CFM	Cubic Feet per Minute
CLNG	Ceiling
CONT	Continuous
D	Deep
DF	Douglas Fir
DN	Down
DW	Dishwasher
EA	Each
EF	Exhaust Fan
EG	Egress
(E)	Existing
EXT	Exterior
FRZR	Freezer
GWB	Gypsum Wall Board
H	High
HB	Hose Bibb
H.C.	Hollow Core
HDR	Header
HORIZ	Horizontal
HT	Height
IBC	International Building Code
INT DES	Interior Design(er)
IRC	International Residential Code
LIN	Linen
MAX	Maximum
MIN	Minimum
MTL	Metal
(N)	New
N/A	Not Applicable
O.C.	On Center
PR	Pair
PT	Pressure Treated
REF	Refrigerator
REQ'D	Required
S&R	Shelf and Rod
S.C.	Solid Core
SD	Smoke Detector
SECT	Section
SG	Safety Glazing
SIP	Structural Insulated Panel
STOR	Storage
STV	Stove
T.O.W.	Top of Wall
TYP	Typical
U	U Value
UNO	Unless Noted Otherwise
VERT	Vertical
VG	Vertical Grain
VTO	Vent to Outside
W	Wide
W/	With
W/D	Washer/Dryer
WD	Wood
W.H.	Water Heater
#	Pound

PROJECT INFORMATION:

Owner:
GRETCHEN AND KEITH ANDERSON
14 WEMBLEY LANE
MERCER ISLAND, WA 98040

Project Address:
14 WEMBLEY LANE
MERCER ISLAND, WA 98040

Parcel:
759810-0523

Legal:
SCHMIDS VITUS E SEATTLE ACRE TRS S 30 FT OF
W 107 FT OF 1 & N 60 FT OF W 107 FT OF 2
Plat Block: 14
Plat Lot: 1-2

Zoning:
R-9.6

Project Description:
Interior, structural remodel existing finished basement
849 sf
New Foyer Addition 120 sf
New landscape walls along driveway

Codes:
2018 International Residential Code
2018 International Building Code
2018 Washington State Amendments
2018 Washington Energy Code
Mercer Island City Code Title 19: Unified Development

PROJECT TEAM:

BUILDING DESIGNER:
Katherine Zeim
K Zeim Home Design
1329 N 47th St. #31348
Seattle, WA 98103
kathy@kzeimdesign.com
(206) 850-9323

STRUCTURAL ENGINEER:
Pasko Kesovija, PE
CK Engineering LLC
19229 36th Pl NE
Lake Forest Park, WA 98155
pasko@ckengineeringllc.net
(206) 417-0670

DRAWING INDEX:

- A1.1 COVERSHEET
- A1.2 DEMOLITION PLAN
- A2.1 PLANS
- A2.2 PLANS & SCHEDULES
- A3.1 EXTERIOR ELEVATIONS
- A4.1 SECTIONS & DETAILS
- S1.0 GENERAL STRUCTURAL NOTES, SCHED.
- S2.0 STRUCTURAL DETAILS

ENERGY CODE:

PRESCRIPTIVE ENERGY CODE COMPLIANCE

FENESTRATION: U = 30 MAX.
CEILING: R = 38 MIN., Advanced framed roof
WOOD FRAME WALL: R = 21 int MIN.
FLOOR: R = 30 MIN.
BELOW GRADE WALL: R = 21 int MIN.

See Code text for footnotes.
Air Leakage 5 ACH max.

ENERGY CREDITS

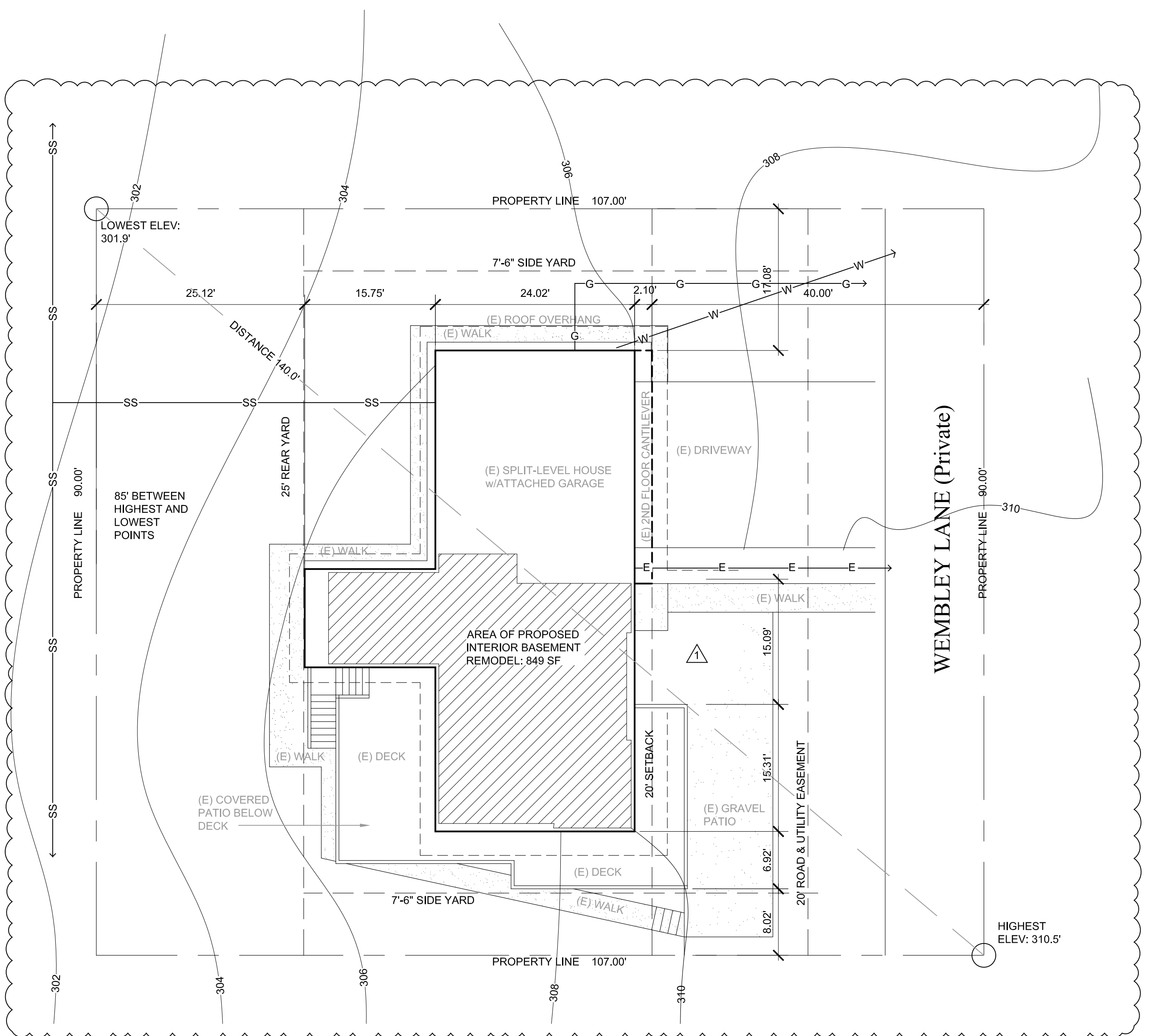
ADDITION: 120 SF
ADDITIONS < 500 SF: 1.5 CREDITS REQUIRED

FUEL NORMALIZATION CREDITS:
System Type 2: Heat Pump meeting federal standards listed in Table C403.3.2(1)C or C403.3.2(2): 1 CREDIT

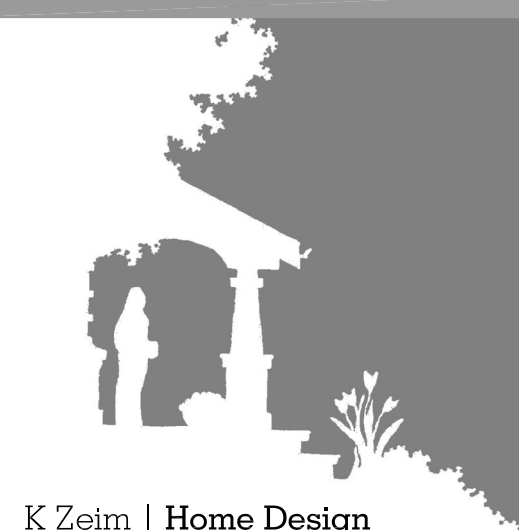
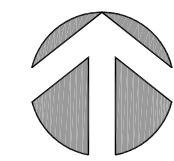
OPTION 3.2
Air Sourced centrally ducted heat pump with minimum HSPF 9.5:
1 CREDIT

1.5 CREDITS REQUIRED, 2 CREDITS PROVIDED

EXTERIOR ADDITION HAS BEEN ELIMINATED FROM THE SCOPE OF WORK. AVERAGE GRADE CALCULATIONS NOT REQUIRED.



1 SITE PLAN
SCALE: 1" = 10'



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MERCER ISLAND, WA 98040

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REV #: DATE: DESCRIPTION:

COVERSHEET


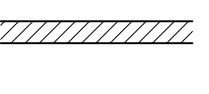


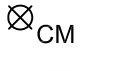
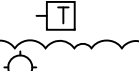
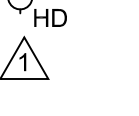

A1.1

MARCH 16, 2022



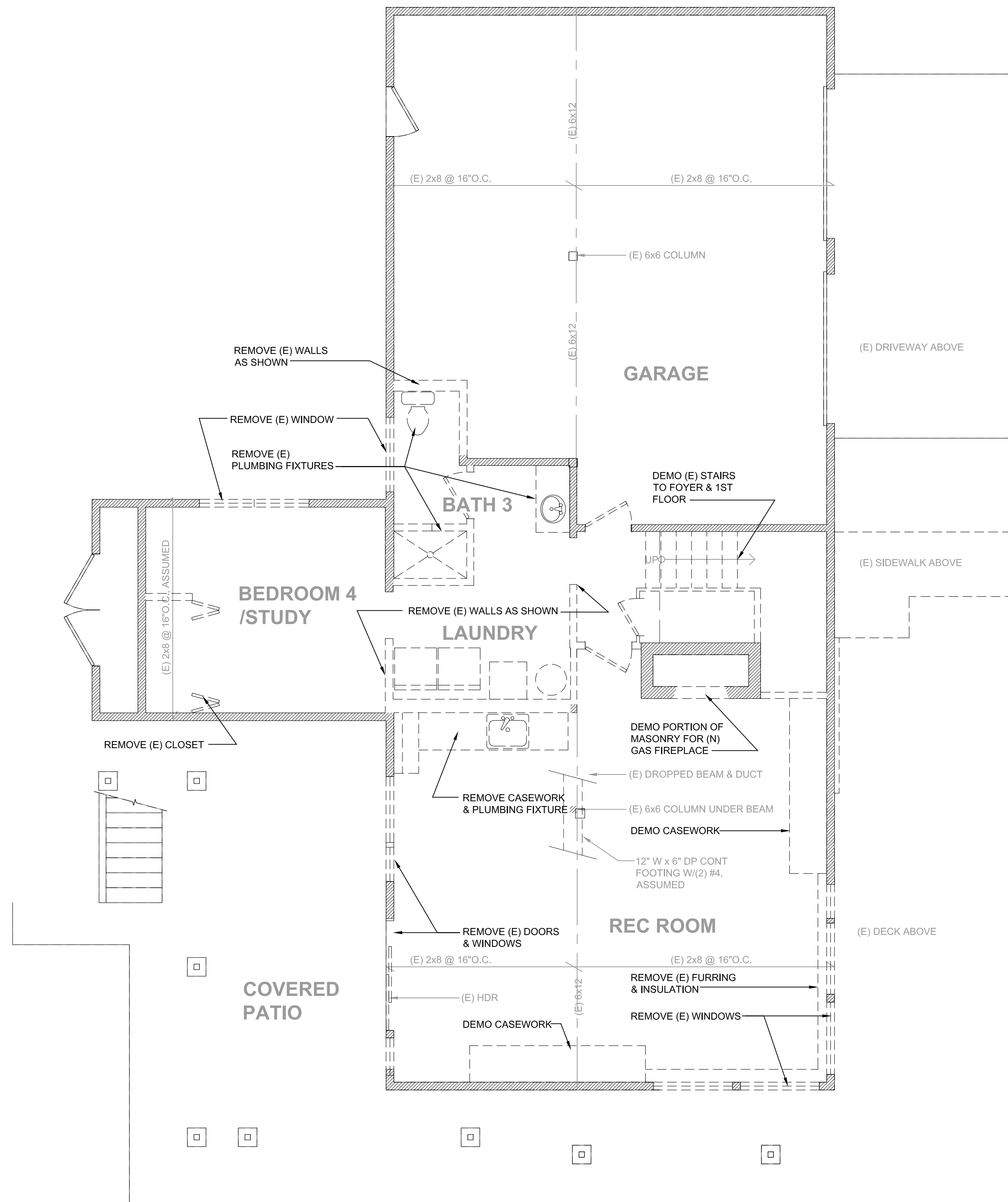
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 kathy@kzeimdesign.com

SYMBOLS:

-  NEW WOOD STUD FRAMING:
 2x4 @ 16" O.C. @ INTERIOR, UNO
 2x6 @ 16" O.C. @ EXTERIOR, UNO
-  EXISTING WALL (2x4 STUD FRAMING
 OR 6" CONCRETE)
-  EXHAUST FAN (MIN. CFM,
 INTERMITTENT, UNO)
-  SMOKE DETECTOR - MATCH (E) "NEST" UNITS
-  CARBON MONOXIDE ALARM
-  PROGRAMMABLE THERMOSTAT
-  HEAT DETECTOR PER IRC R314.2
 CONNECT TO ALARM LOCATED IN HOUSE ROOM
 OR HALLWAY TO PROVIDE OCCUPANT
 NOTIFICATION
-  4-WAY LIGHT SWITCH

PLAN NOTES:


1. Dimensions to face of stud @ (N) walls, face of finish @ (E) walls, face of concrete, or centerline of column, UNO.
2. Contractor to notify building designer of any discrepancies in the drawings prior to proceeding with work in the affected area.
3. Insulate existing 2x4 exterior wall stud cavities exposed during construction w/R-15 batt insulation or to full depth of cavity.
4. A minimum of 90% of permanently installed lamps in the lighting fixtures shall be high-efficacy lamps.
5. All exhaust fans vent to outside. Exhaust fan terminations may not meet requirements of SRC 1506.2 and not terminate within 3' of property lines, operable or inoperable openings, or within 10' of mechanical air intakes except when the termination is 3' above the intake.
6. Top of handrail shall be not less than 34" or more than 38" above the tread nosings. Handrails shall be continuous the full length of the flight. The hand grip portion shall not be less than 1-1/4" or more than 2" in cross-sectional dimension. Handrails adjacent to walls shall have min. 1-1/2" space between the wall & handrail.



1 BASEMENT DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"

ANDERSON RESIDENCE
 14 WEMBLEY LANE
 MERCER ISLAND, WA 98040

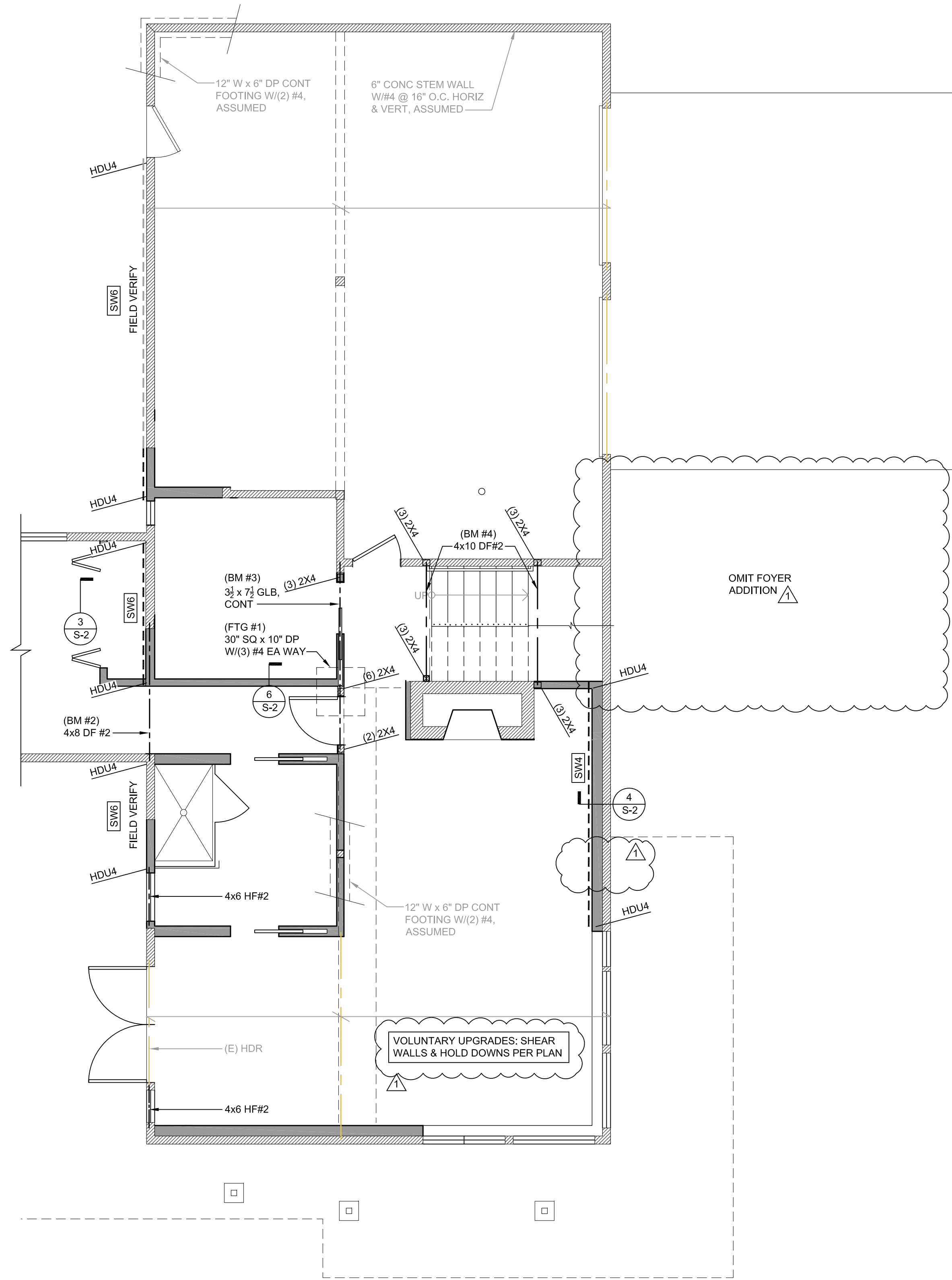
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REV #:  DATE: JUNE 22, 2022 DESCRIPTION: MERCER ISLAND CORRECTIONS 1

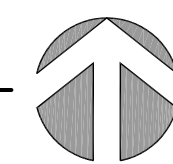
DEMOLITION PLANS

A1.2

MARCH 16, 2022



1 FOUNDATION & 1ST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



SMOKE ALARMS:
VERIFY OR PROVIDE SMOKE ALARMS IN THE FOLLOWING LOCATIONS PER R314.3:
1. INSIDE EACH BEDROOM
2. OUTSIDE EACH SLEEPING AREA
3. ON EACH LEVEL OF THE HOUSE- SEE CODE FOR DETAILS ABOUT SPLIT LEVELS

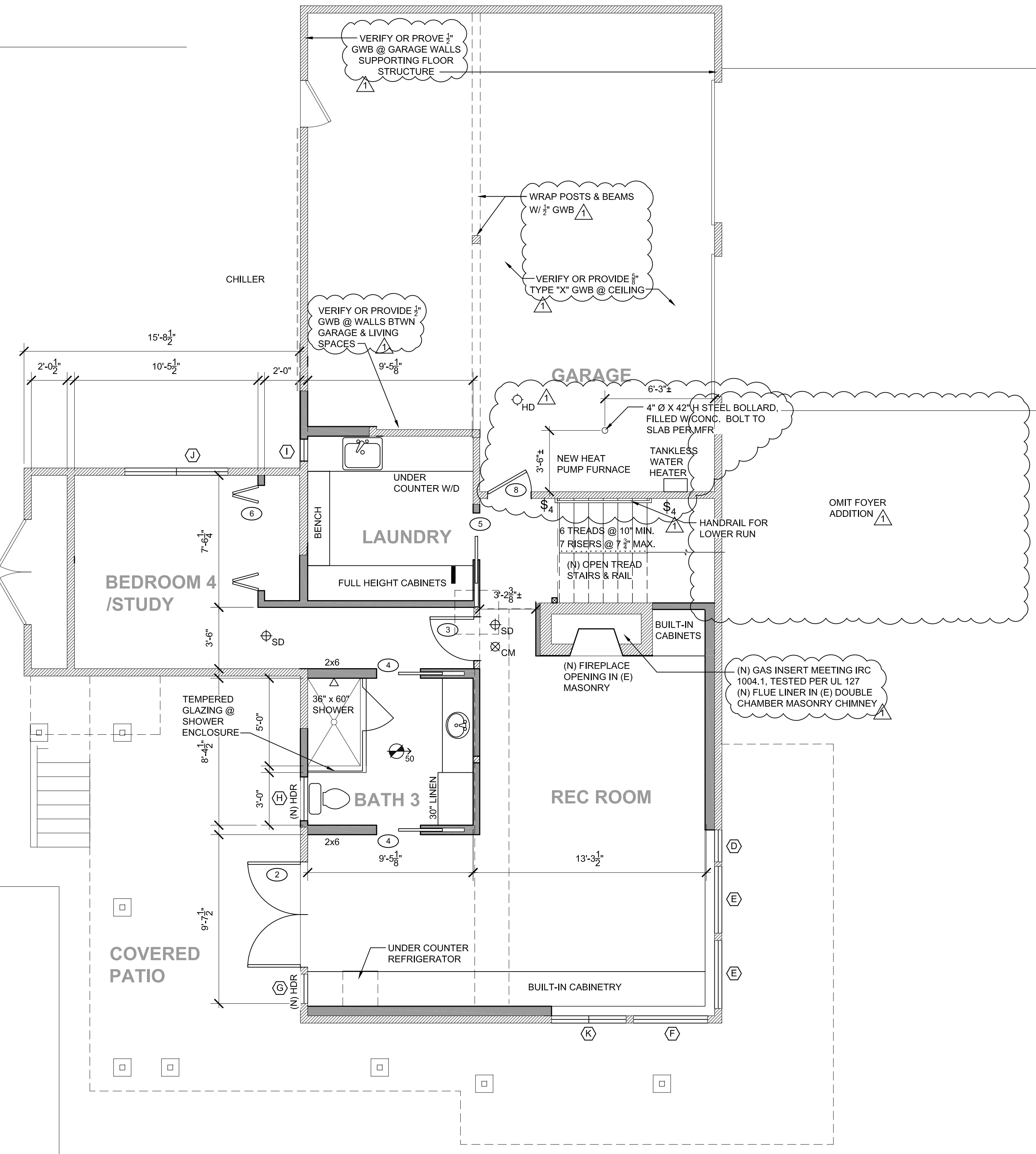
INTERCONNECT WITH NEW SMOKE ALARMS IN ADDITION. INTERCONNECTION MAY BE WIRELESS PER R314.4 ALARMS MAY BE BATTERY OPERATED PER R314.2.2

CARBON MONOXIDE ALARMS:
VERIFY OR PROVIDE CARBON MONOXIDE ALARMS IN THE FOLLOWING LOCATIONS PER R315.3:
1. OUTSIDE EACH SLEEPING AREA
2. ON EACH LEVEL OF THE HOUSE

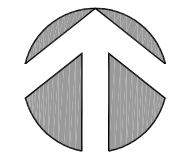
INTERCONNECT WITH NEW CM ALARMS IN ADDITION. INTERCONNECTION MAY BE WIRELESS PER R315.5 CARBON MONOXIDE ALARMS MAY BE COMBO UNITS WITH SMOKE DETECTORS ALARMS MAY BE BATTERY OPERATED PER R315.2.2

- SYMBOLS:**
- NEW WOOD STUD FRAMING:
2x4 @ 16" O.C. @ INTERIOR, UNO
2x6 @ 16" O.C. @ EXTERIOR, UNO
 - EXISTING WALL (2x4 STUD FRAMING OR 6" CONCRETE)
 - EXHAUST FAN (MIN. CFM, INTERMITTENT, UNO)
 - SMOKE DETECTOR - MATCH (E) "NEST" UNITS
 - CARBON MONOXIDE ALARM
 - PROGRAMMABLE THERMOSTAT
 - HEAT DETECTOR PER IRC R314.2 CONNECT TO ALARM LOCATED IN HOUSE ROOM OR HALLWAY TO PROVIDE OCCUPANT NOTIFICATION
 - 4-WAY LIGHT SWITCH

- PLAN NOTES:**
1. Dimensions to face of stud @ (N) walls, face of finish @ (E) walls, face of concrete, or centerline of column, UNO.
 2. Contractor to notify building designer of any discrepancies in the drawings prior to proceeding with work in the affected area.
 3. Insulate existing 2x4 exterior wall stud cavities exposed during construction w/R-15 batt insulation or to full depth of cavity.
 4. A minimum of 90% of permanently installed lamps in the lighting fixtures shall be high-efficacy lamps.
 5. All exhaust fans vent to outside. Exhaust fan terminations may must meet requirements of SRC 1506.2 and not terminate within 3' of property lines, operable or inoperable openings, or within 10' of mechanical air intakes except when the termination is 3' above the intake.
 6. Top of handrail shall be not less than 34" or more than 38" above the tread nosings. Handrails shall be continuous the full length of the flight. The hand grip portion shall not be less than 1-1/4" or more than 2" in cross-sectional dimension. Handrails adjacent to walls shall have min. 1-1/2" space between the wall & handrail.



2 BASEMENT AND FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



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PLANS

A2.1

MARCH 16, 2022

DOOR SCHEDULE										
MARK	QTY	WIDTH	HEIGHT	TYPE	MATERIAL	GLAZ	U-VALUE	MFR	LOCATION	NOTES
①	1	5'-4"	6'-8"	DBL SWING	TBD	FULL LITE	.30 MAX.	TBD	FOYER	1
②	1	6'-0"	6'-8"	DBL SWING	TBD	FULL LITE	.30 MAX.	TBD	REC ROOM	1, 2
③	1	2'-6"	6'-8"	SWING	S.C. WD	N/A	N/A	TBD	BEDROOM 4/ STUDY	-
④	2	2'-6"	6'-8"	POCKET	S.C. WD	N/A	N/A	TBD	BATH 3	-
⑤	1	2'-8"	6'-8"	POCKET	S.C. WD	N/A	N/A	TBD	LAUNDRY	-
⑥	1	6'-0"	6'-8"	BI-FOLD	H.C. WD	N/A	N/A	TBD	BEDROOM 4/ STUDY	-
⑦	1	6'-0"	6'-8"	DBL BI-FOLD	H.C. WD	N/A	N/A	TBD	FOYER	-
⑧	1	3'-0"	6'-8"	SWING	S.C. WD	N/A	N/A	TBD	GARAGE	3

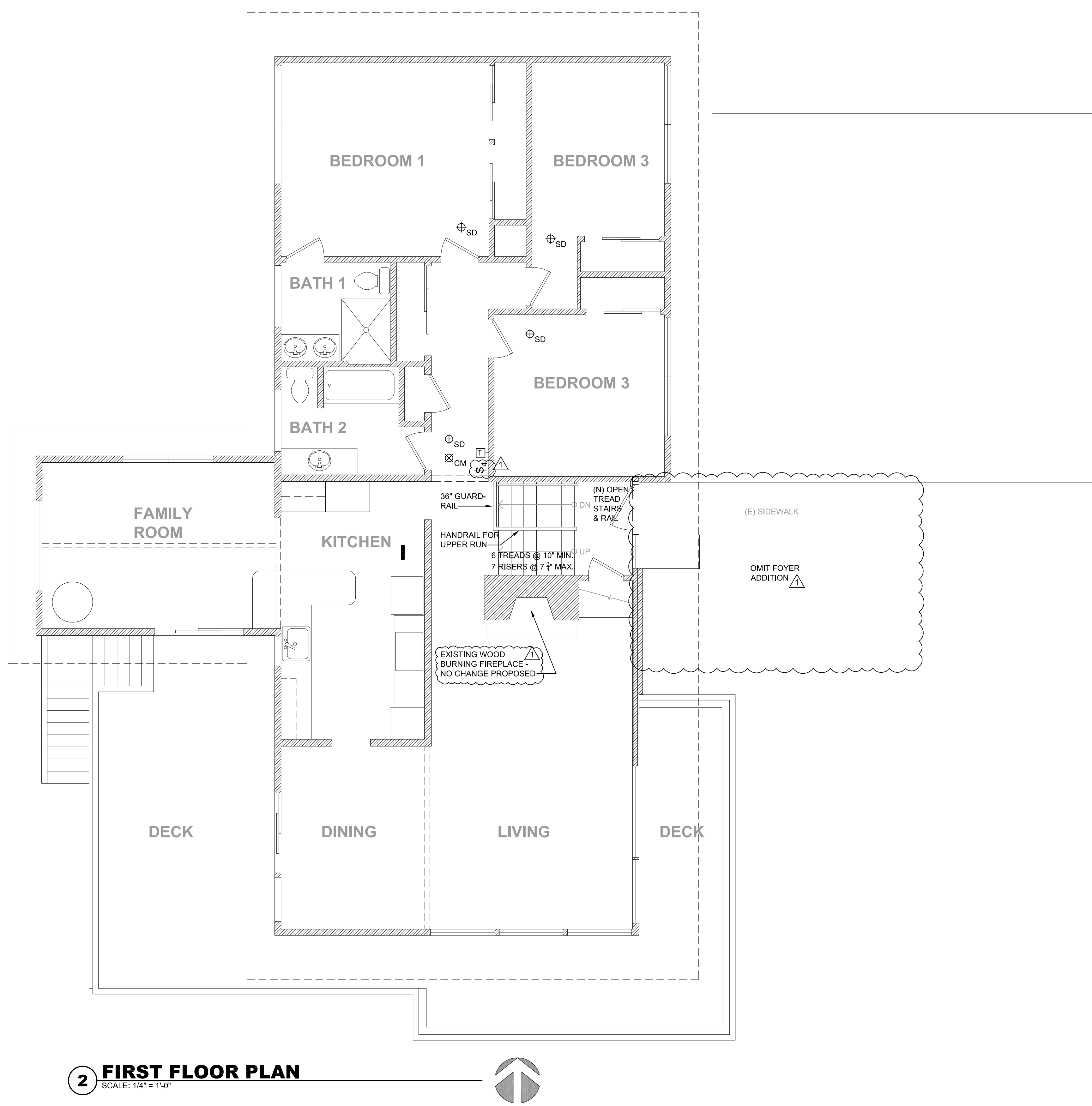
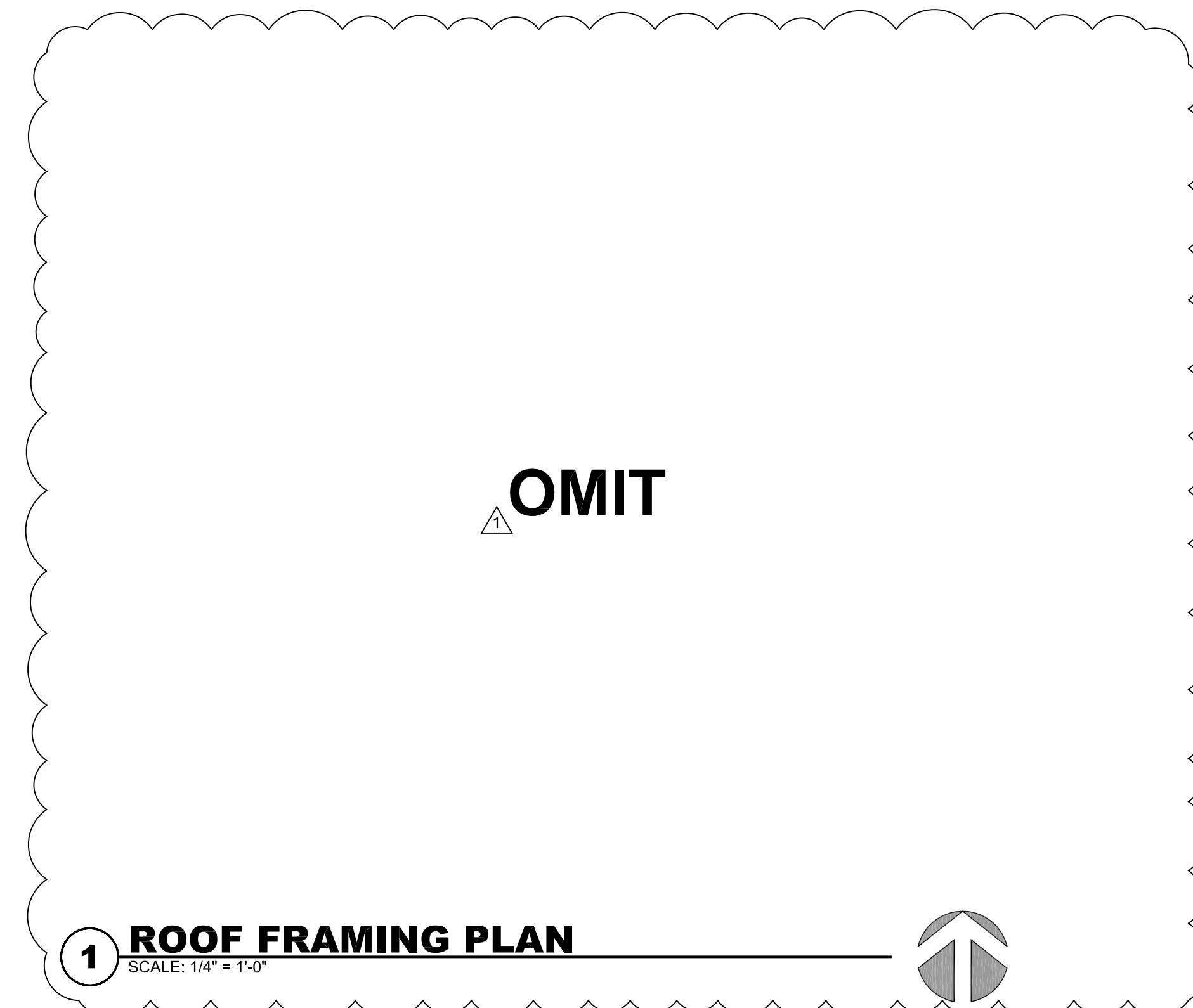
GENERAL NOTES
 1. Contractor to verify hardware
 2. Contractor to verify rough opening required.

KEY NOTES
 1. SAFETY GLAZING
 2. NEW DOOR IN EXISTING OPENING - VERIFY SIZE
 3. 20 MIN. OR 1 3/4" SOLID CORE DOOR W/CLOSER

WINDOW SCHEDULE							
MARK	QTY	WIDTH	HEIGHT	TYPE	U-VALUE	LOCATION	NOTES
A	2	2'-6"	6'-0"	PICTURE	.28 MAX.	FOYER	1
B	2	2'-6"	3'-3"	PICTURE	.28 MAX.	FOYER	-
C	1	5'-4"	3'-3"	PICTURE	.28 MAX.	FOYER	-
D	1	1'-10"	2'-6"	PICTURE	.28 MAX.	REC ROOM	2
E	2	3'-10"	2'-6"	PICTURE	.28 MAX.	REC ROOM	2
F	1	4'-3"	2'-6"	PICTURE	.28 MAX.	REC ROOM	2
G	1	1'-8"	3'-0"	PICTURE	.28 MAX.	REC ROOM	2
H	1	2'-6"	3'-0"	AWNING	.28 MAX.	BATH 3	3
I	1	1'-3"	3'-0"	AWNING	.28 MAX.	LAUNDRY	-
J	1	6'-0"	4'-0"	SLIDER	.28 MAX.	BEDROOM 4	4
K	1	4'-3"	2'-6"	SLIDER	.28 MAX.	REC ROOM	4

GENERAL NOTES
 1. See elevations for operation & grids.
 2. Field verify dimensions for new windows in existing openings.
 3. Wall thicknesses vary, field verify prior to ordering
 4. All windows to be "Marvin Modern" double glazed fiberglass windows with Low-e3 and argon gas.

KEY NOTES
 1. SAFETY GLAZING
 2. NEW WINDOW IN EXISTING OPENING, VERIFY DIMENSIONS
 3. OPAQUE GLAZING
 4. EGRESS



- SYMBOLS:**
- NEW WOOD STUD FRAMING:
 2x4 @ 16" O.C. @ INTERIOR, UNO
 2x6 @ 16" O.C. @ EXTERIOR, UNO
 - EXISTING WALL (2x4 STUD FRAMING OR 6" CONCRETE)
 - EXHAUST FAN (MIN. CFM, INTERMITTENT, UNO)
 - SMOKE DETECTOR - MATCH (E) "NEST" UNITS
 - CARBON MONOXIDE ALARM
 - PROGRAMMABLE THERMOSTAT
 - HEAT DETECTOR PER IRC R314.2 CONNECT TO ALARM LOCATED IN HOUSE ROOM OR HALLWAY TO PROVIDE OCCUPANT NOTIFICATION
 - 4-WAY LIGHT SWITCH

- PLAN NOTES:**
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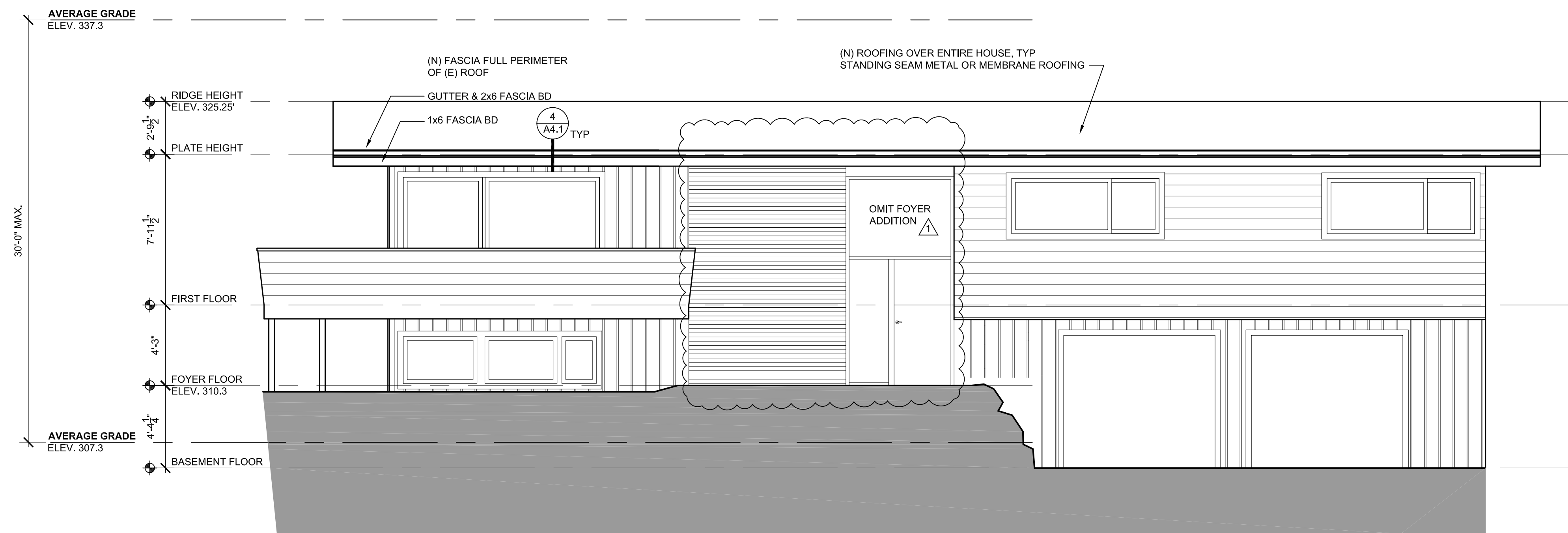
ANDERSON RESIDENCE
 14 WEMBLEY LANE
 MERCER ISLAND, WA 98040

PERMIT

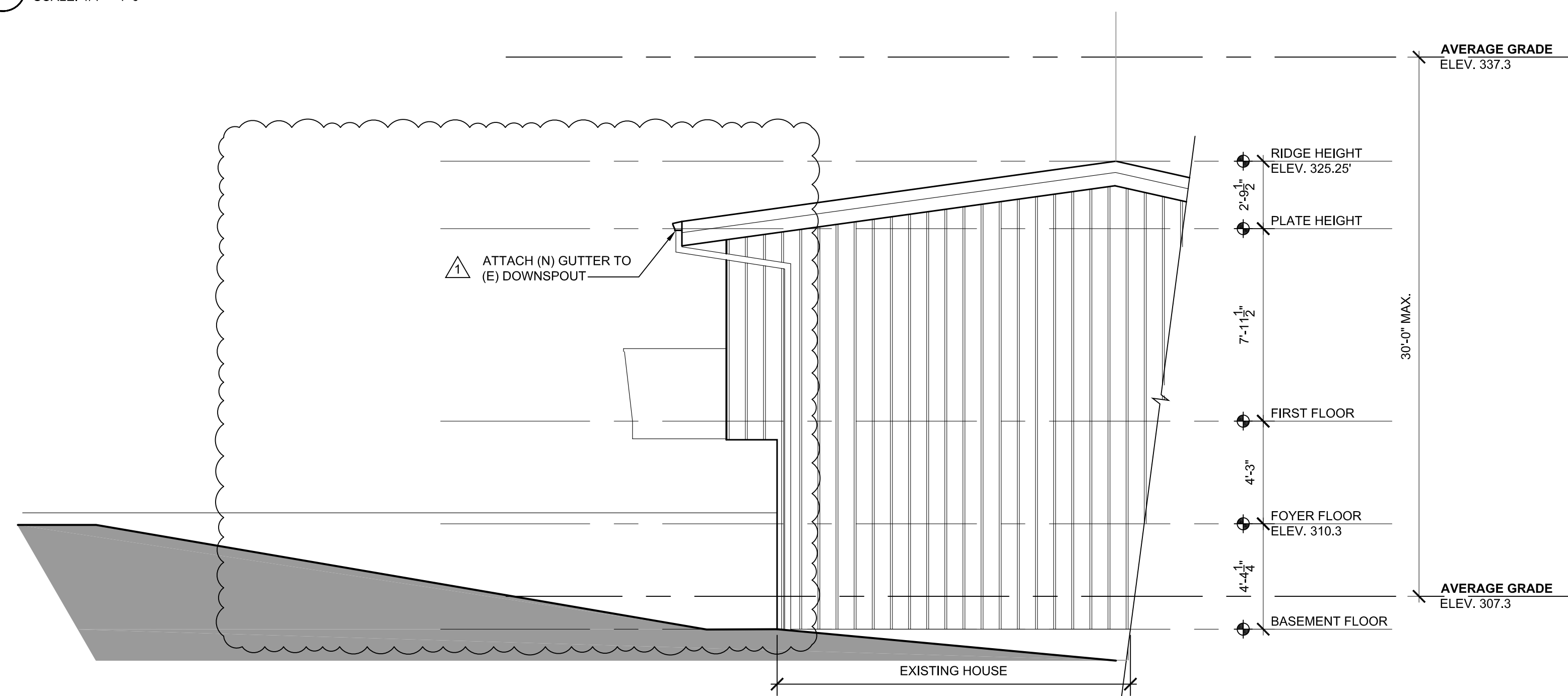
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PLANS & SCHEDULES

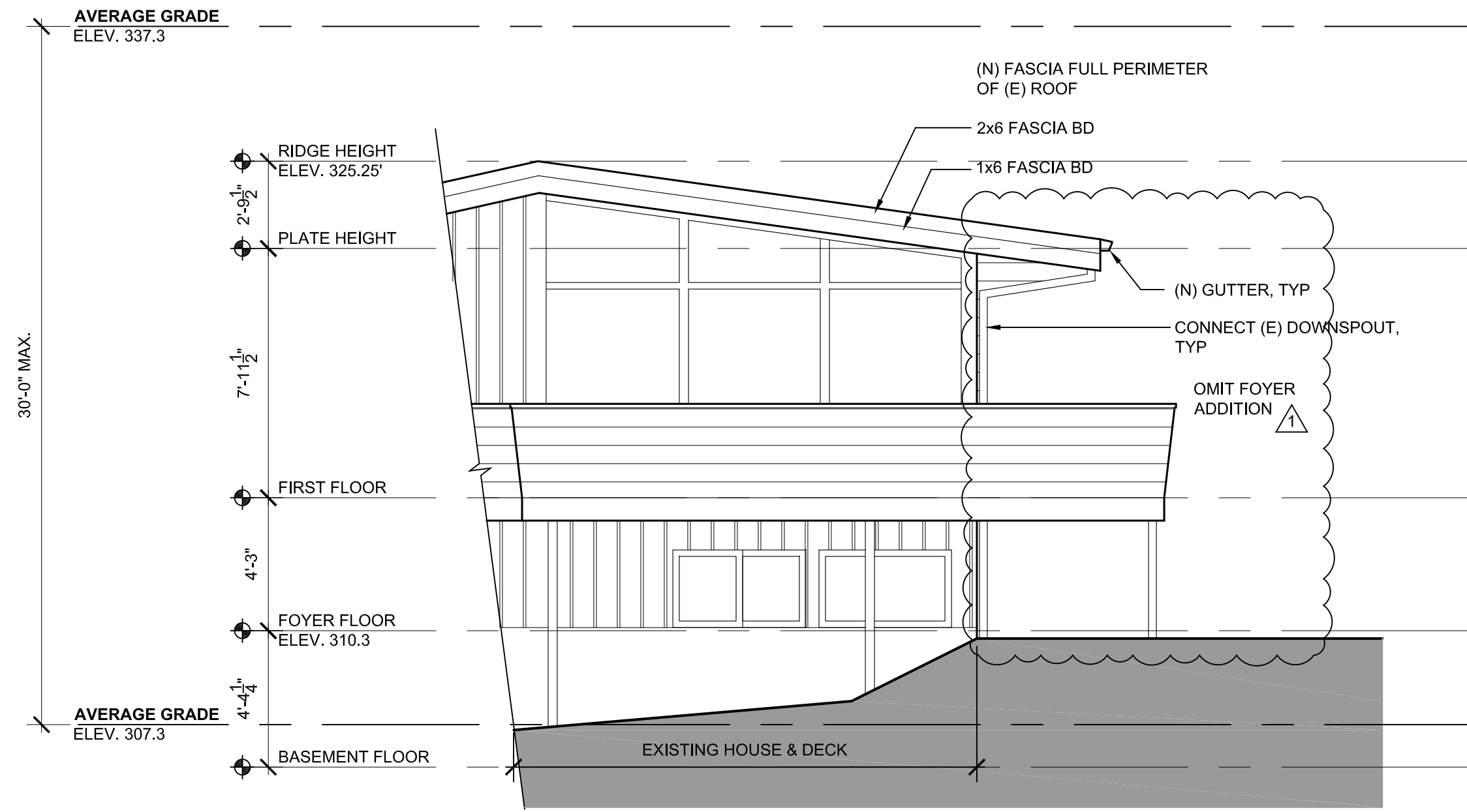
A2.2
 MARCH 16, 2022



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



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ELEVATIONS

A3.1

MARCH 16, 2022



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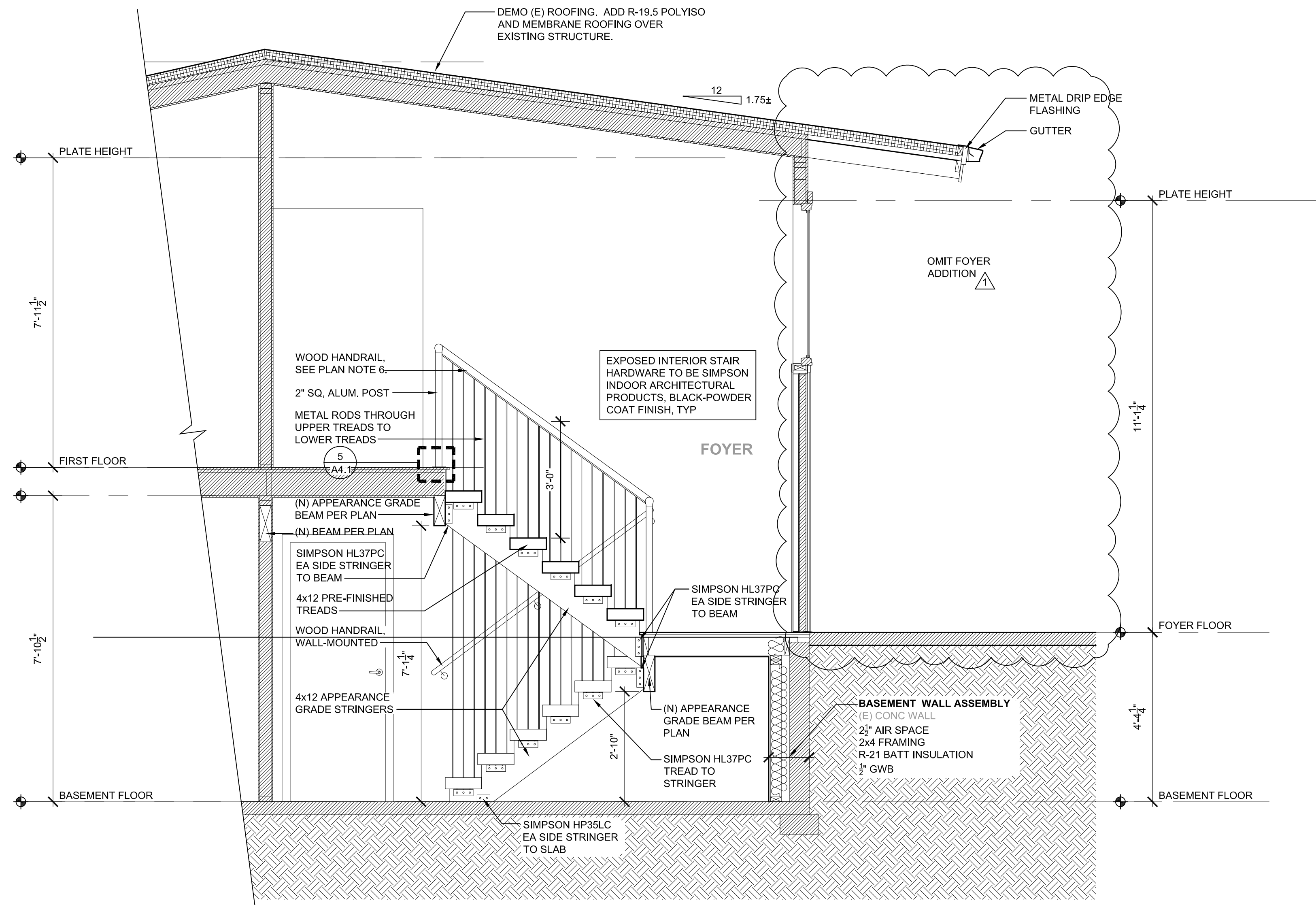
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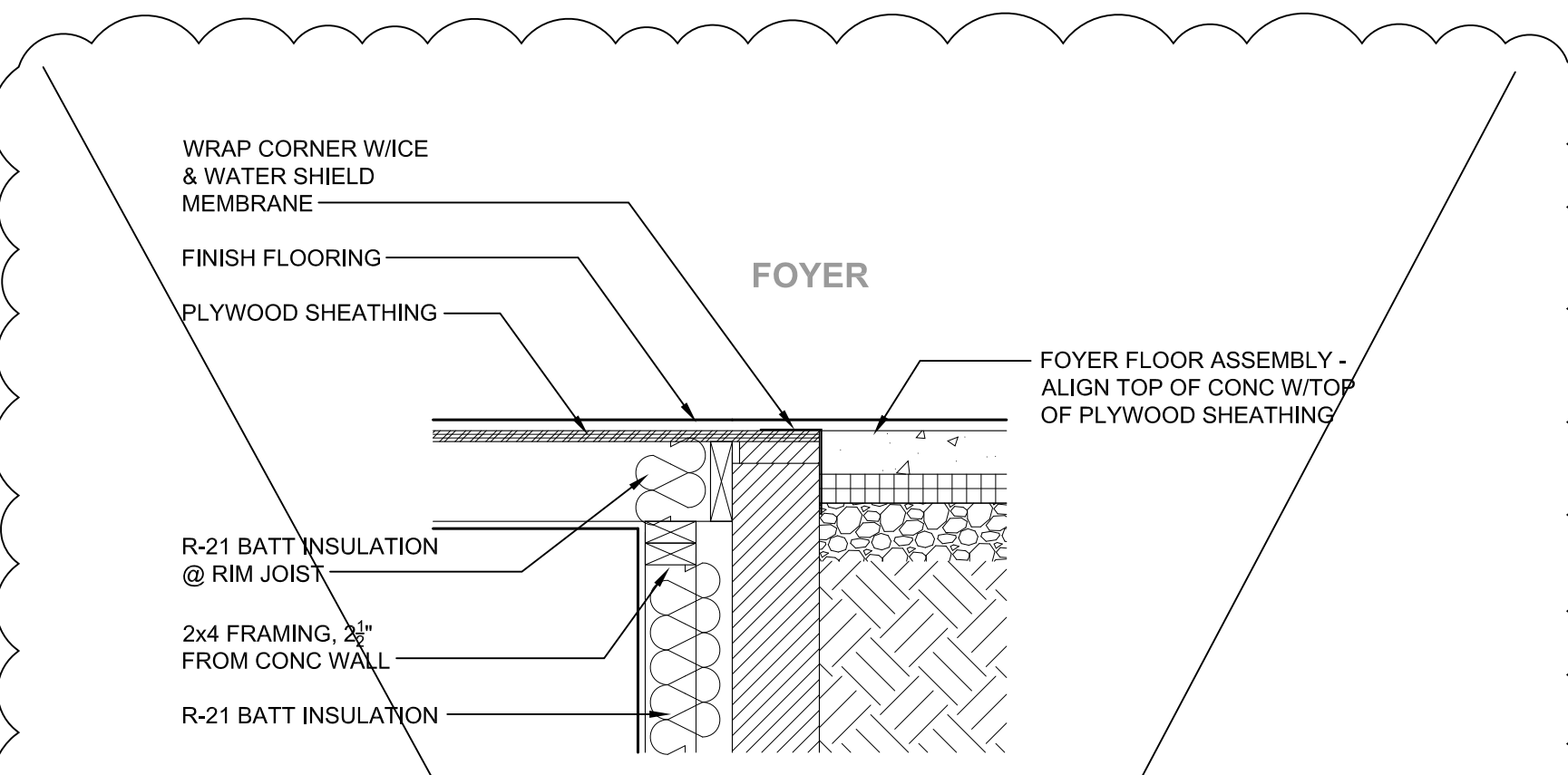
SECTIONS & DETAILS

A4.1

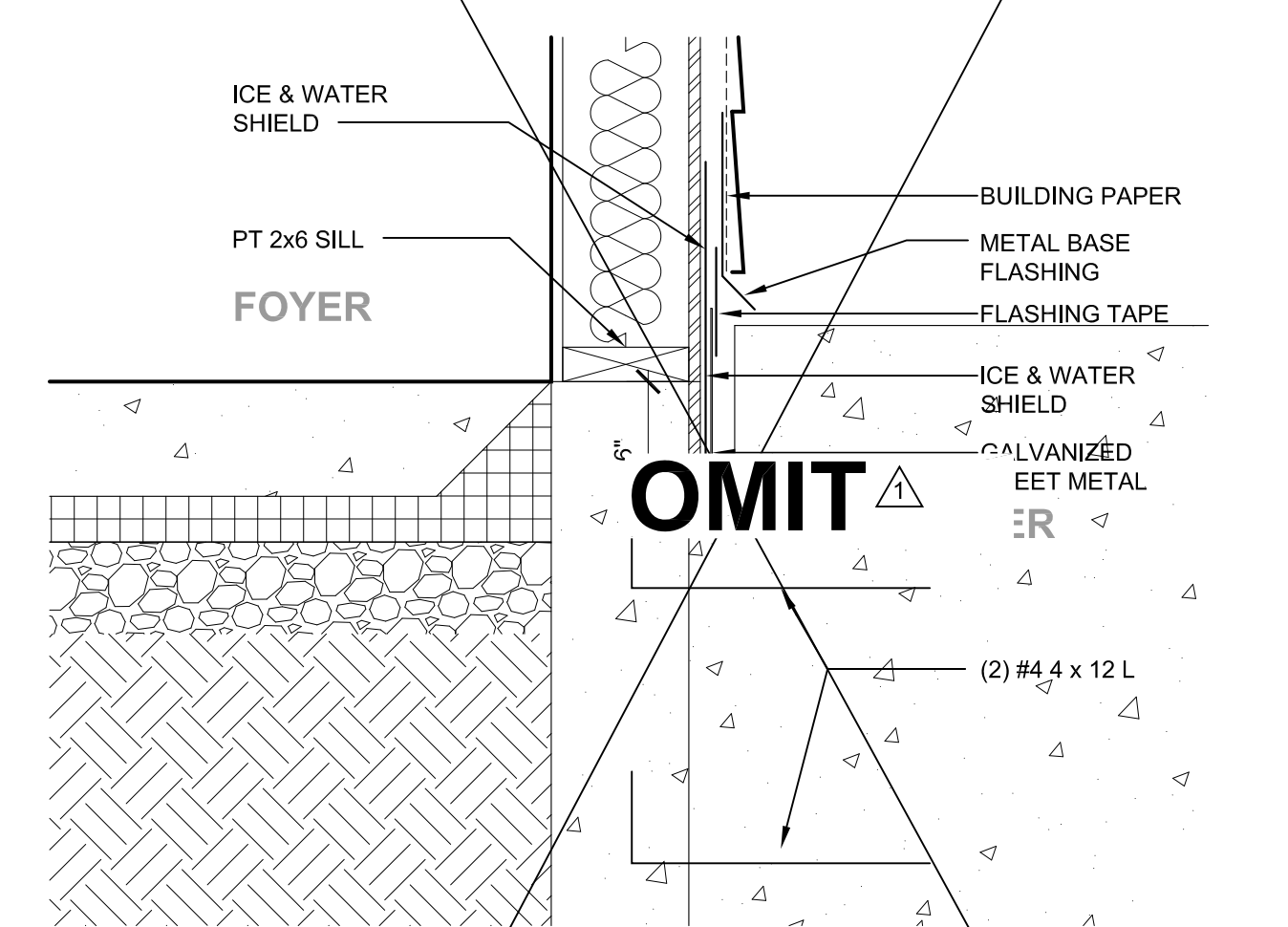
MARCH 16, 2022



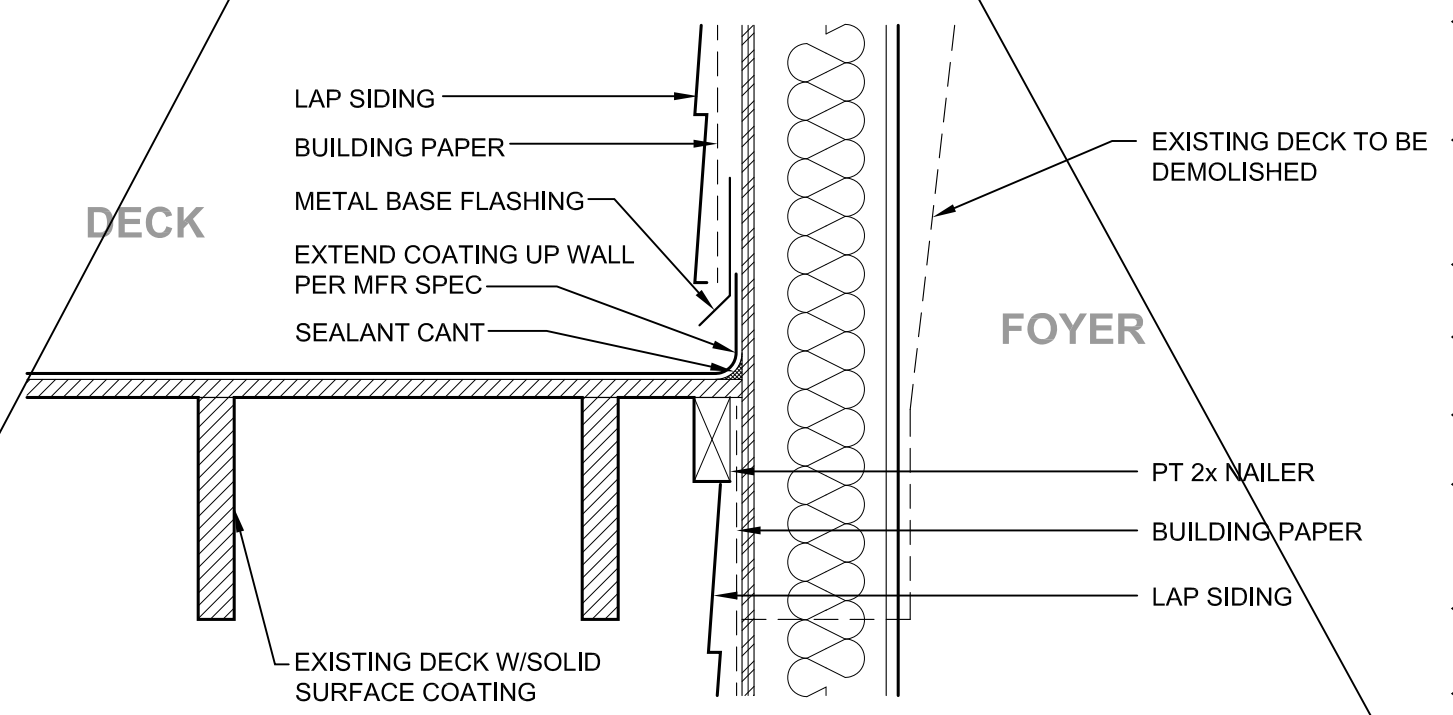
A EAST-WEST SECTION
 SCALE: 1/2" = 1'-0"



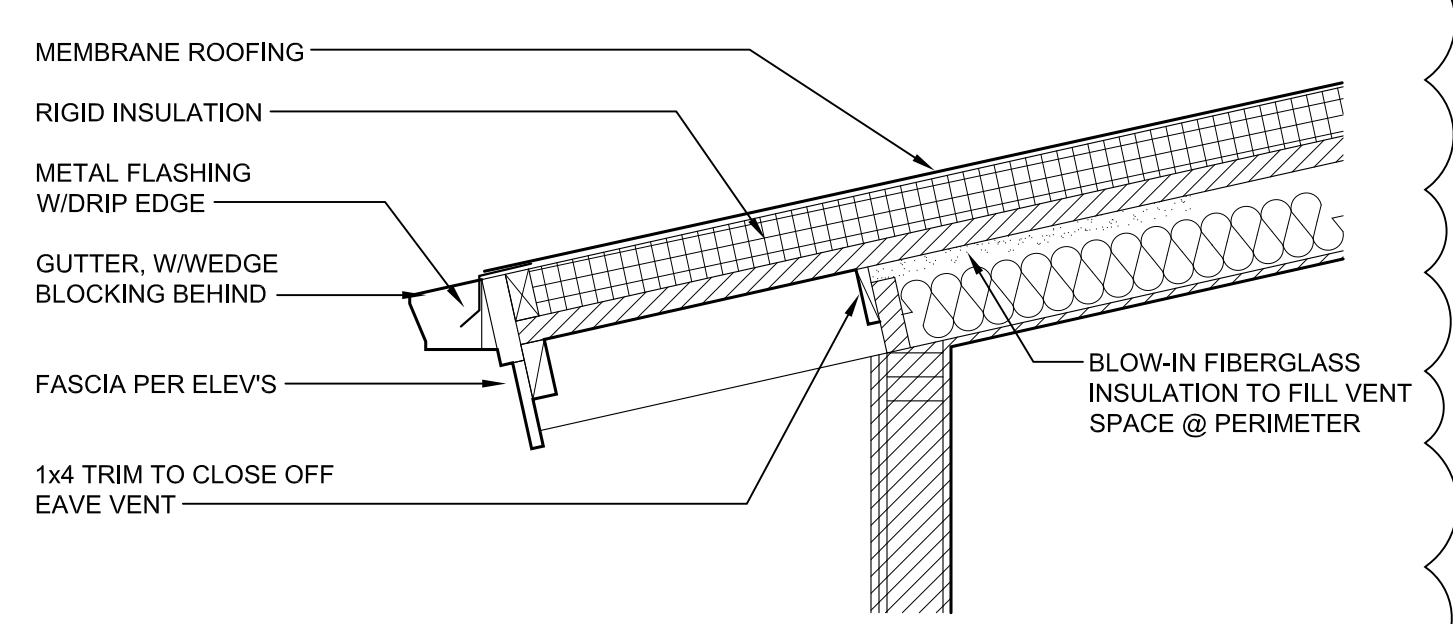
1 THRESHOLD DETAIL
 SCALE: 1" = 1'-0"



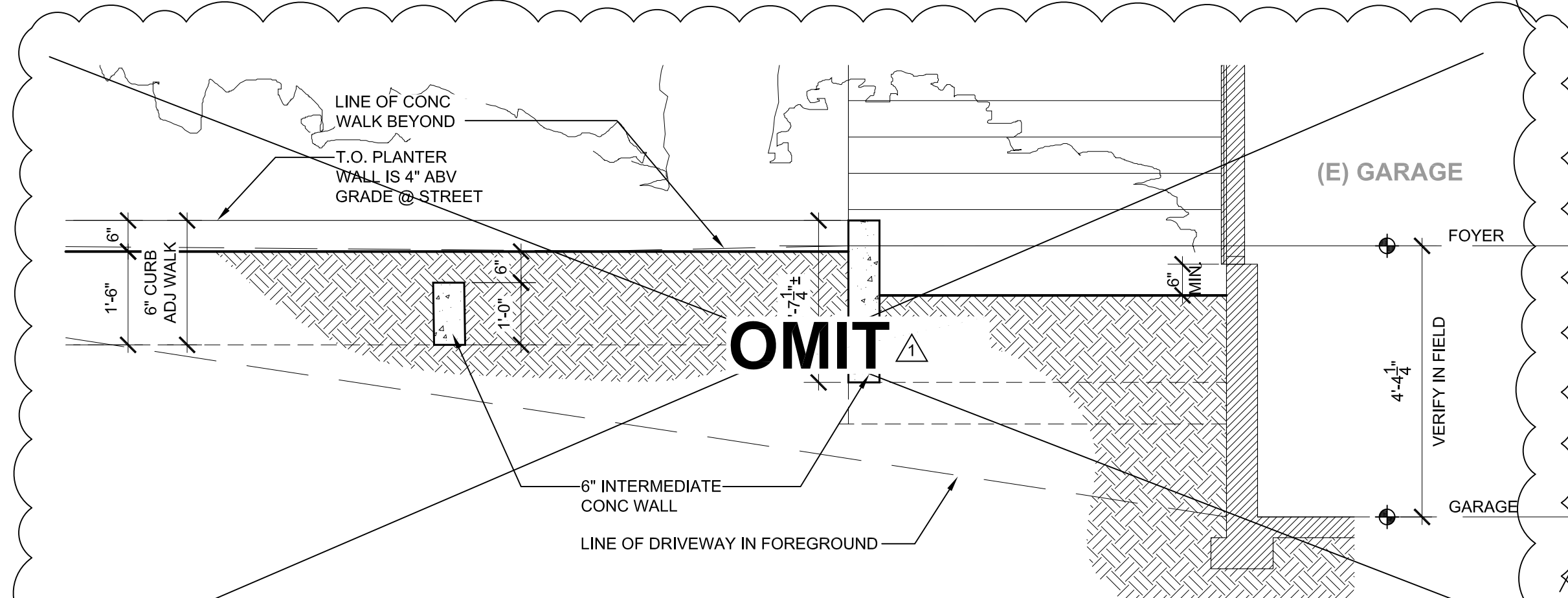
2 PLANTER FLASHING DETAIL
 SCALE: 1 1/2" = 1'-0"



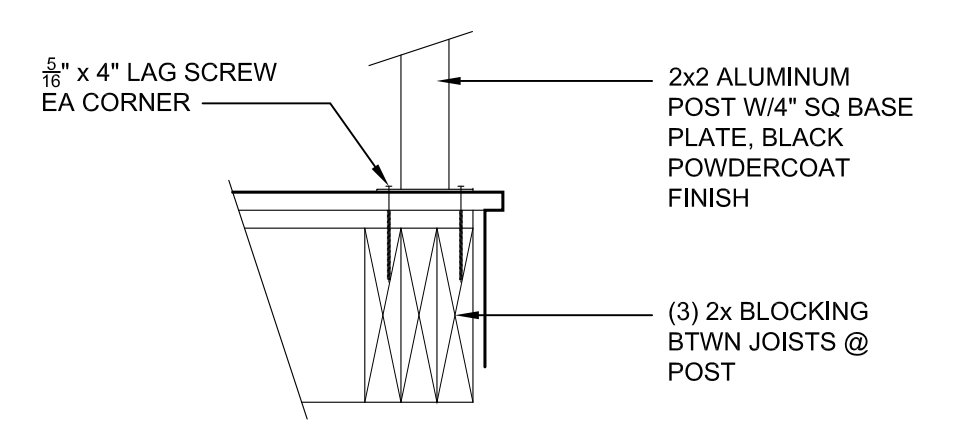
3 DECK TO WALL FLASHING DETAIL
 SCALE: 1 1/2" = 1'-0"



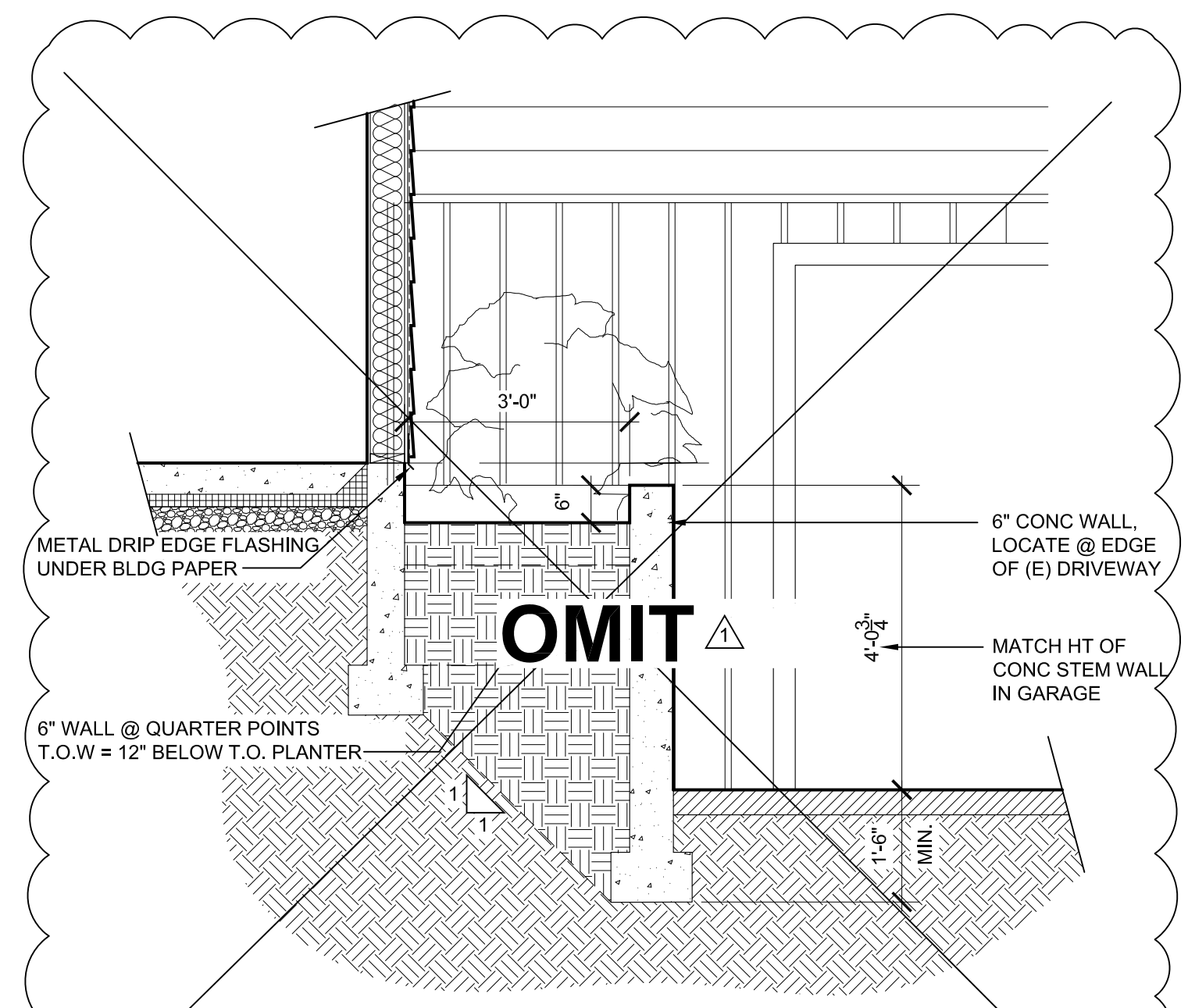
4 DECK TO WALL FLASHING DETAIL
 SCALE: 1 1/2" = 1'-0"



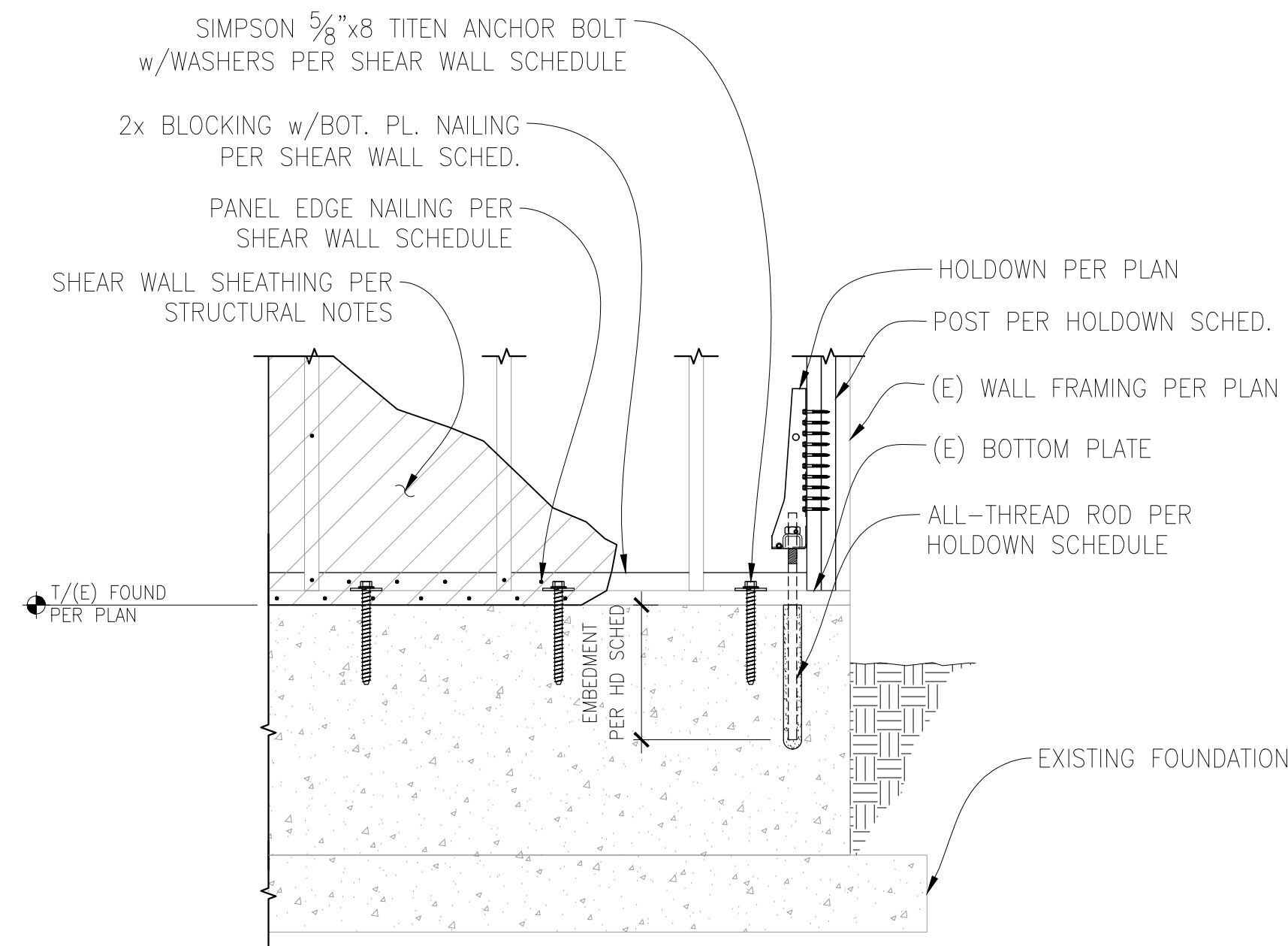
C SECTION THRU PLANTER @ HOUSE
 SCALE: 1/2" = 1'-0"



5 RAIL POST CONNECTION
 SCALE: 1 1/2" = 1'-0"

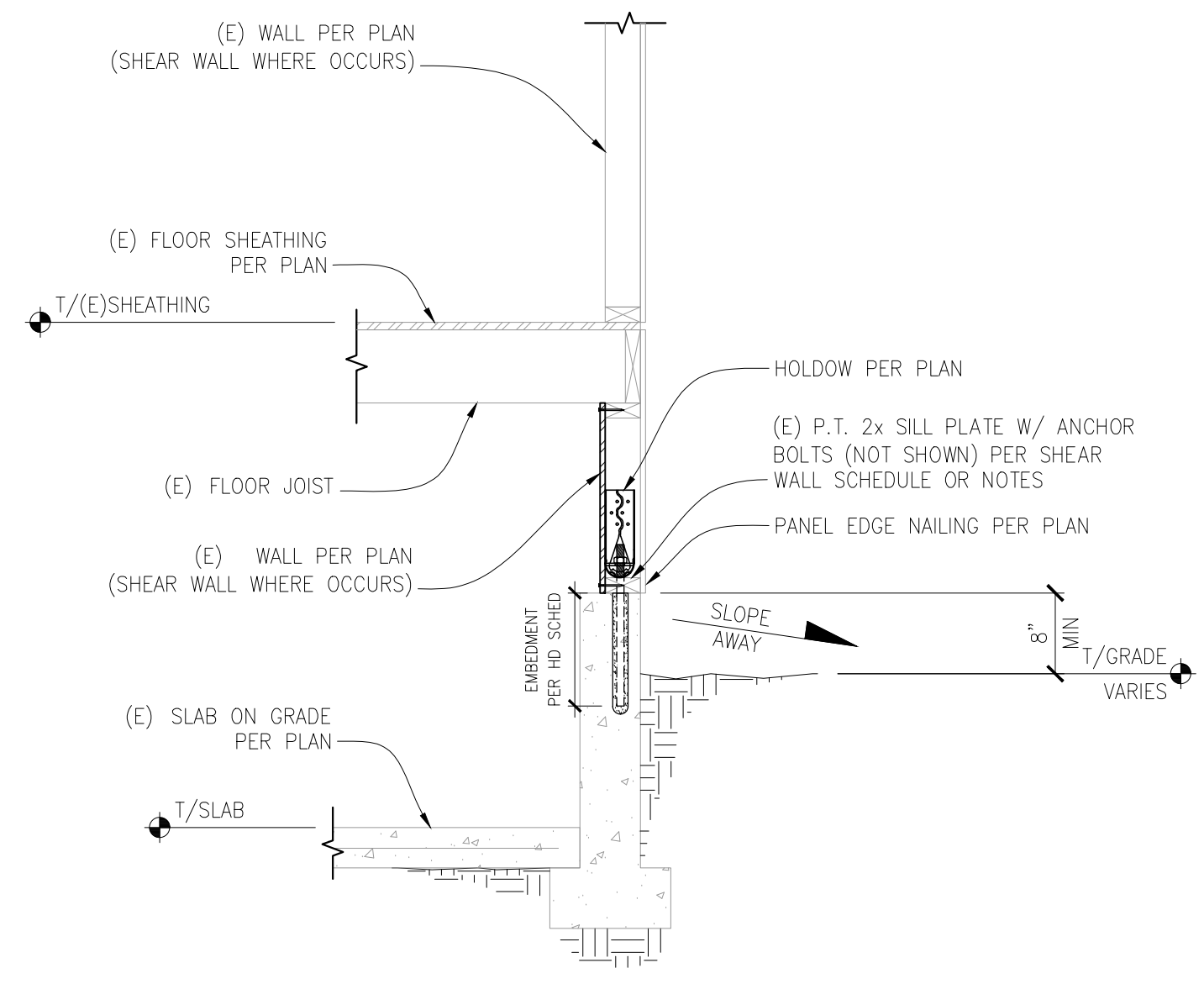


B SECTION THRU PLANTER @ FOYER
 SCALE: 1/2" = 1'-0"



NEW SHEAR WALL TO EXISTING FOUNDATION CONNECTION
SCALE: N.T.S.

3

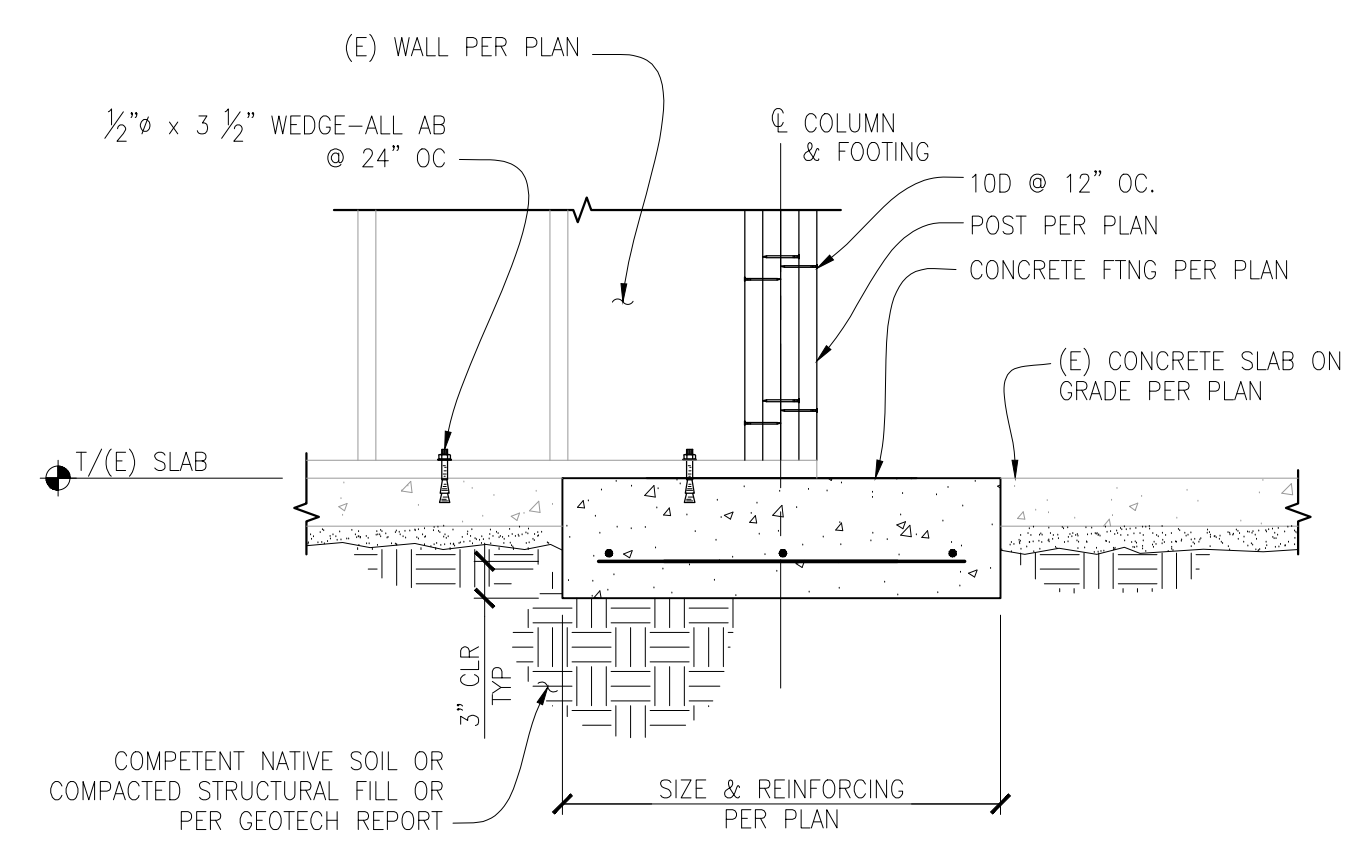
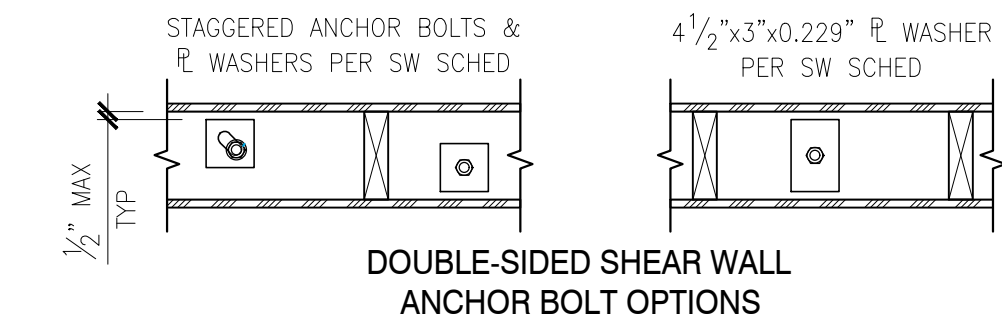


LOWER FLOOR SHEAR WALL CONNECTION
SCALE: 3/4" = 1'-0"

4

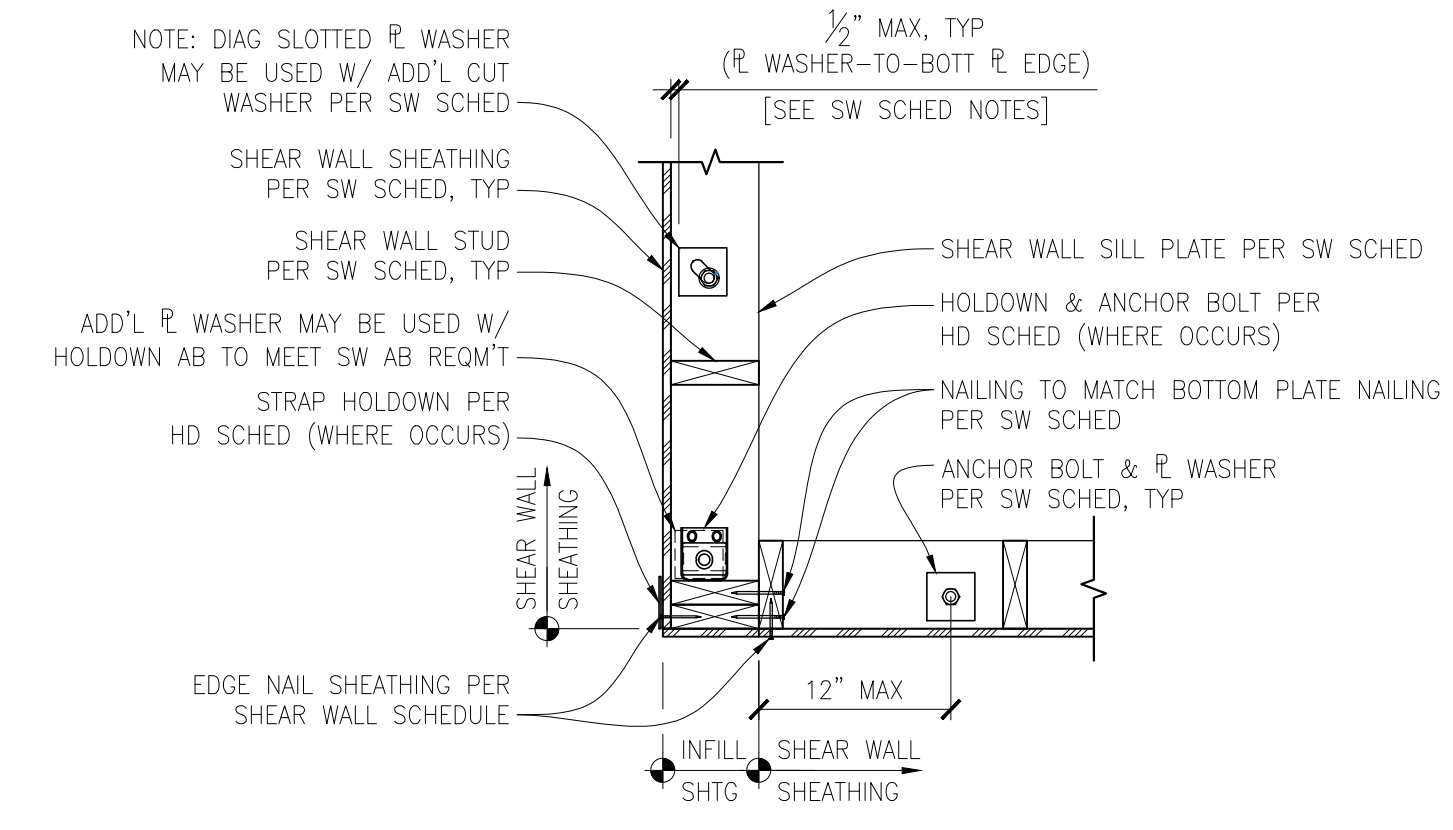
SIMPSON STRONG-TIE SLOTTED PLATE WASHERS W/ 5/8" ANCHOR BOLTS

3x3x0.229	BPS $\frac{3}{4}$ -3
4.5x3x0.229	BPS $\frac{3}{4}$ -6



NEW FOOTING/POST CONNECTION
SCALE: 3/4" = 1'-0"

6

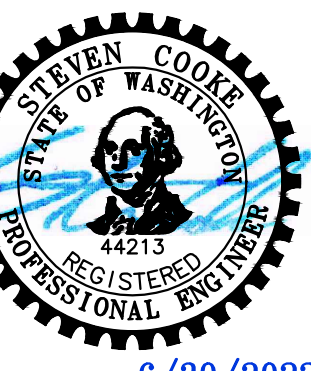


TYPICAL PLAN VIEW - SHEAR WALL HOLDOWNS & ANCHOR BOLTS
SCALE: 1" = 1'-0"

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CK ENGINEERING LLC
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6/30/2022

ANDERSON RESIDENCE
14 WEMBLEY LANE
MERCER ISLAND, WA 98040

REVISION #	DATE	DESCRIPTION
1	06-30-2022	CITY REVIEW

Drawn By: PK
Checked By: SC
Date: 6-30-2022

CK JOB NO.
22-007

STRUCTURAL DETAILS
S-2.0